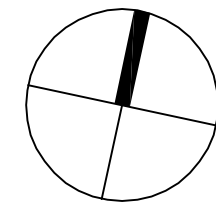


ATTACHMENT E

2-Acre LOT DEVELOPMENT PLAN
Huffon Family



LOCATION



SITE DATA

PARCEL NUMBER: 022-150-030
 OCCUPANCY: R-3
 ZONING: HILLSIDE PRESERVATION DISTRICT
 LOT AREA: 2.0 ACRES (87,121 SF) TOTAL
 MAX. ALLOWABLE BUILDING HEIGHT = 35'-0"
 ACTUAL BUILDING HEIGHT = 26'-2" ABOVE LOWEST GRADE (378'-0")

LOT COVERAGE

PER TENTATIVE SUBDIVISION MAP

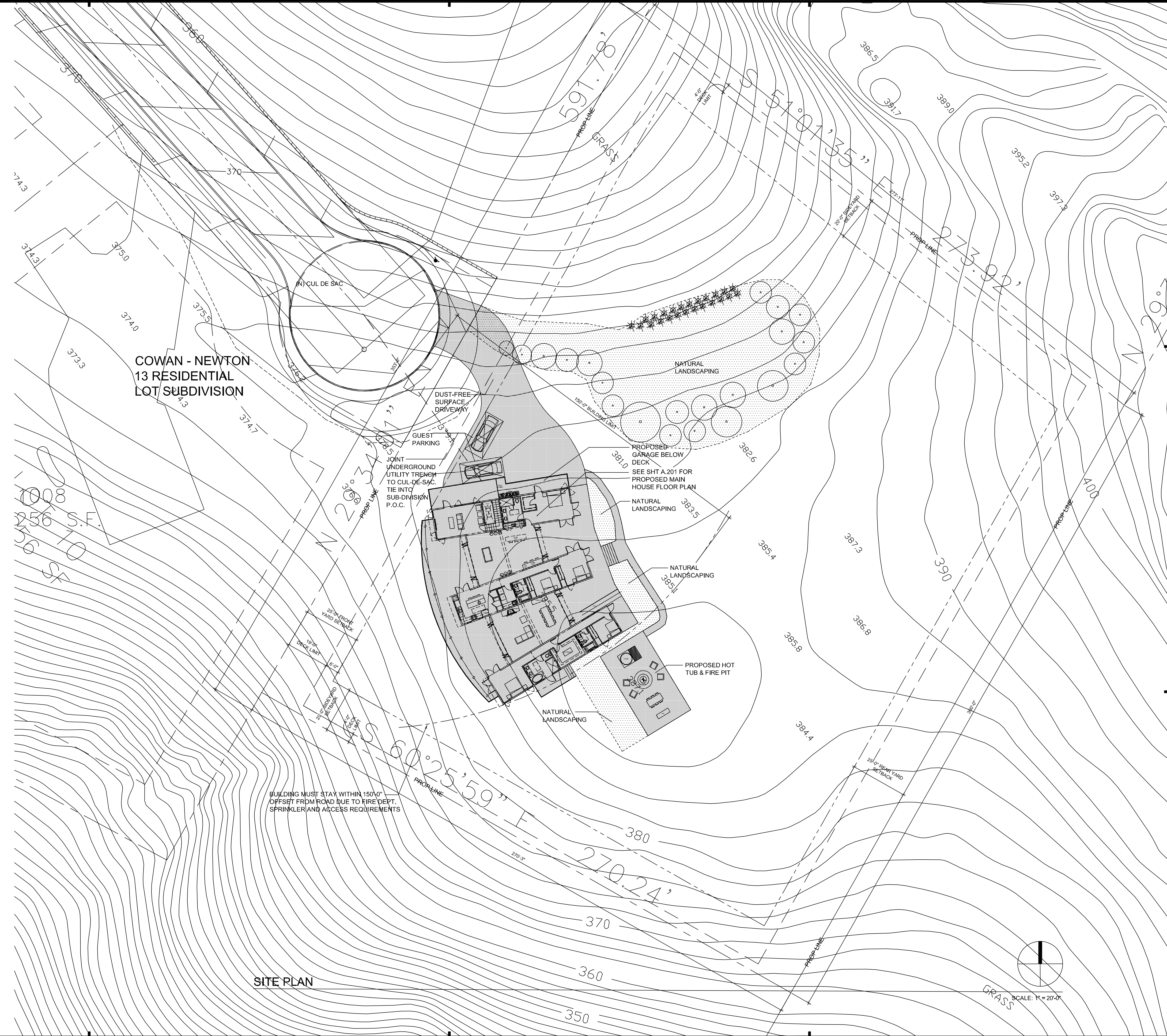
40 - (32,522 / 35) = 9.7806% BUILDABLE LAND
 9.7806% = 286,994 SQ.FT. BUILDABLE LAND
 PROPOSED PAVEMENT / GRADING COVERAGE = 167,215 SQ.FT.
 REMAINING COVERAGE FOR 14 HOUSES = 286,994 - 167,215 = 119,779 SQ.FT

OF THE 119,779 SQ.FT., 17,500 SQ.FT. WILL BE DESIGNATED FOR THE 2-ACRE PARCEL. THEREFORE, 119,779 - 17,500 = 102,279 SQ.FT. IS LEFT FOR THE 13 REMAINING LOTS.
 102,279 SQ.FT. / 13 = 7,867 SQ.FT. AVERAGE PER LOT OF BUILDABLE LAND.

AREA TAKEOFFS/ACTUAL COVERAGE

MAIN HOUSE:	
BUILDING AREA:	
ENTRY MODULE	868 SF
PUBLIC BREEZESPACE	610.5 SF
KITCHEN MODULE	868 SF
PRIVATE BREEZESPACE	610.5 SF
MASTER MODULE	868 SF
ROOF DECK (ABOVE GARAGE)*	475 SF
TOTAL (BUILDING)	4,300 SF
HARDSCAPE AREA:	
GUEST PARKING**/DRIVEWAY	2,850 SF
DECKS ***	2,484 SF
LANDSCAPING	7,866 SF
TOTAL (HARDSCAPE)	13,200 SF
BUILDING + HARDSCAPE (4,300 + 13,200)	
= TOTAL ACTUAL LOT COVERAGE	17,500 SF

*ENTIRETY OF GARAGE IS BELOW BUILDING FOOTPRINT
 GARAGE LEVEL (INCLUDES STORAGE, STAIR AND FAMILY ROOM) = 1,664 SF
 **2 OFFSTREET PARKING SPACES PROVIDED
 ***FRONT DECK = 1,354 SF (FAMILY ROOM DECK = 330 SF),
 BACK DECK = 1,134 SF, MASTER DECK = 110 SF, BBQ DECK = 910 SF,
 1,024 SF OF FRONT DECK EXCLUDED FROM HPD
 CALC. (1,354 SF - 330 SF), LAND UNDER DECK UNDISTURBED.



SITE PLAN

SCHEMATIC DESIGN

Project: **DUNSTAN/HUSSON Sunset breezehouse™**
 4036 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

SITE PLAN

Revisions:	Rev	By	Description	Date

Designer:	MK	SM
Drawn By:		
Date:	07-30-07	
Project No.:	B0622	
Scale:	AS SHOWN	

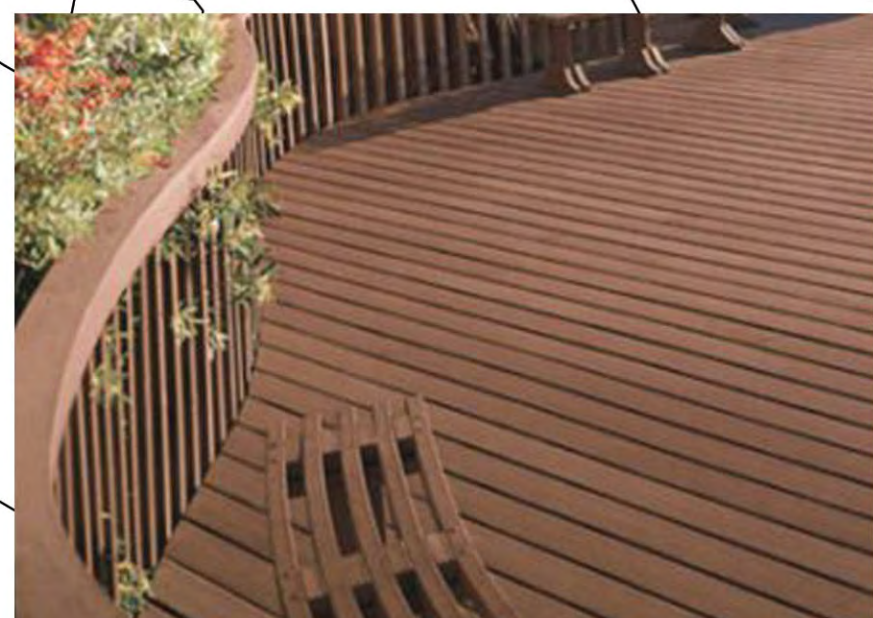
Sheet: **A.101**
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1 native vegetation



2 trex deck



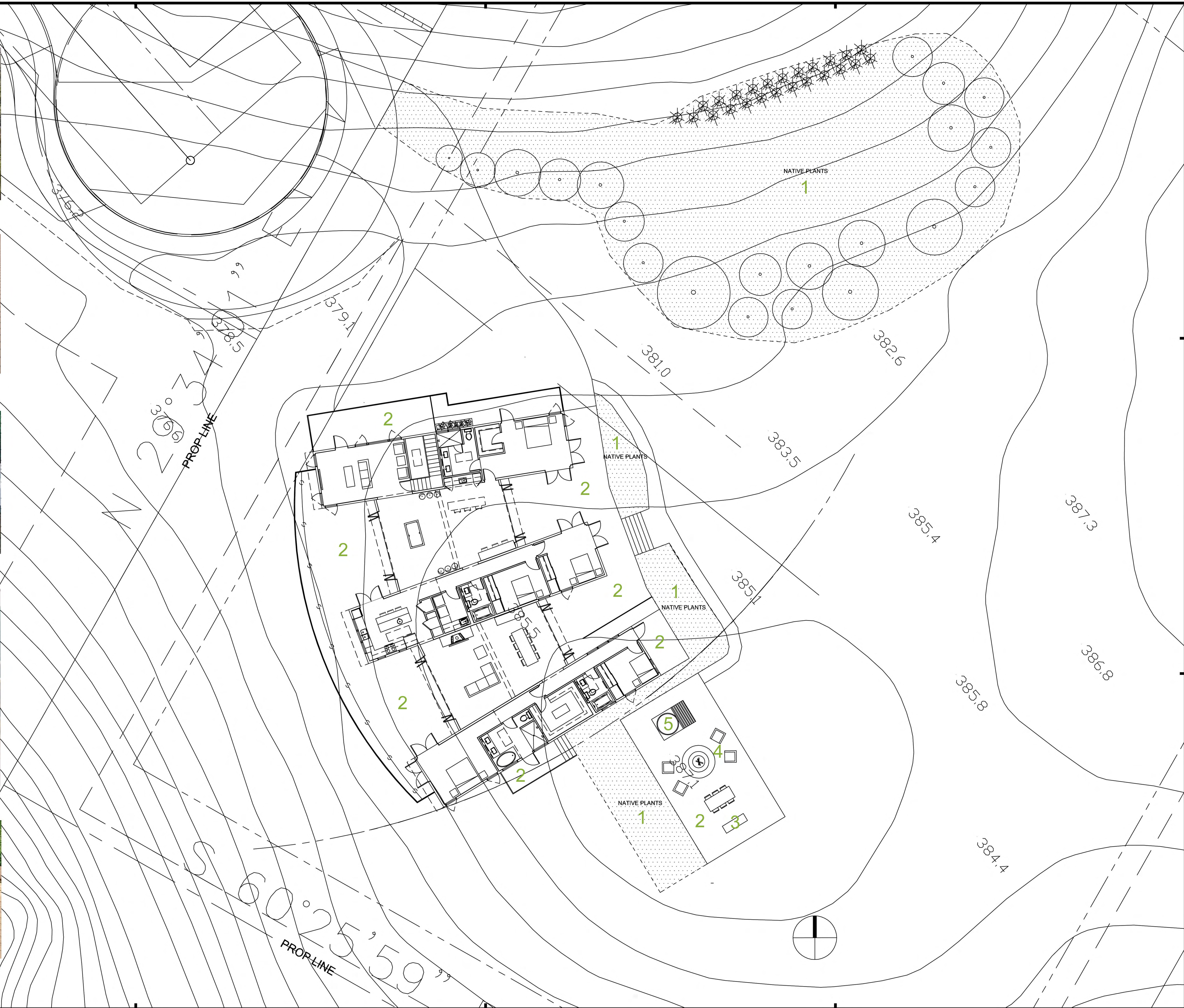
3 stone bbq



4 clay chiminea



5 hot tub



SCHEMATIC DESIGN

Project: **DUNSTAN/HUSSON** **Sunset breezehouse™**
4096 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

Title: **LANDSCAPE PLAN**

Revisions:	Rev	By	Description	Date

Designer:	MK	SM
Drawn By:		
Date:	07-30-07	
Project No.:	B0622	
Scale:	AS SHOWN	

Sheet: **A.102**
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BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

SCHEMATIC DESIGN

Project: **DUNSTAN/HUSSON** **Sunset breeze**house™
 4096 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

Title: **BASEMENT FLOORPLAN**

Revisions:	Rev	By	Description	Date

Designer:	MK
Drawn By:	SM
Date:	07-30-07
Project No.:	B0622
Scale:	AS SHOWN

Sheet: **A.201**
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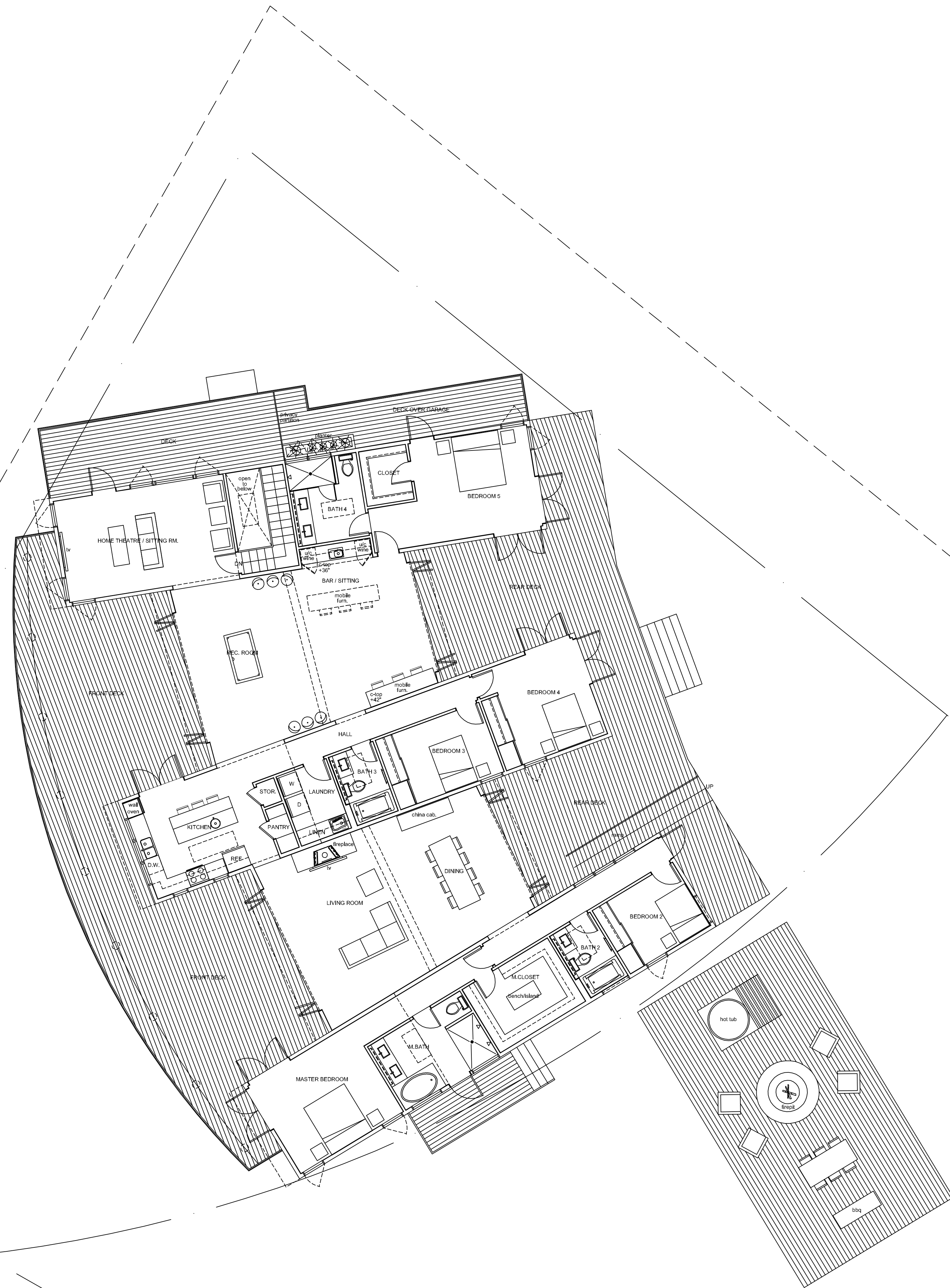
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BUILDING MUST STAY WITHIN 100' OFFSET FROM ROAD DUE TO FIRE DEPT. OPERATOR AND ACCESS REQUIREMENTS

BUILDING SETBACKLINE

DECK SETBACKLINE



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

SCHEMATIC DESIGN

Project: **DUNSTAN/HUSSON** **Sunset breezehouse™**
 4096 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

Title: **FLOORPLAN**

Revisions:	Rev	By	Description	Date

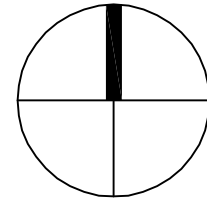
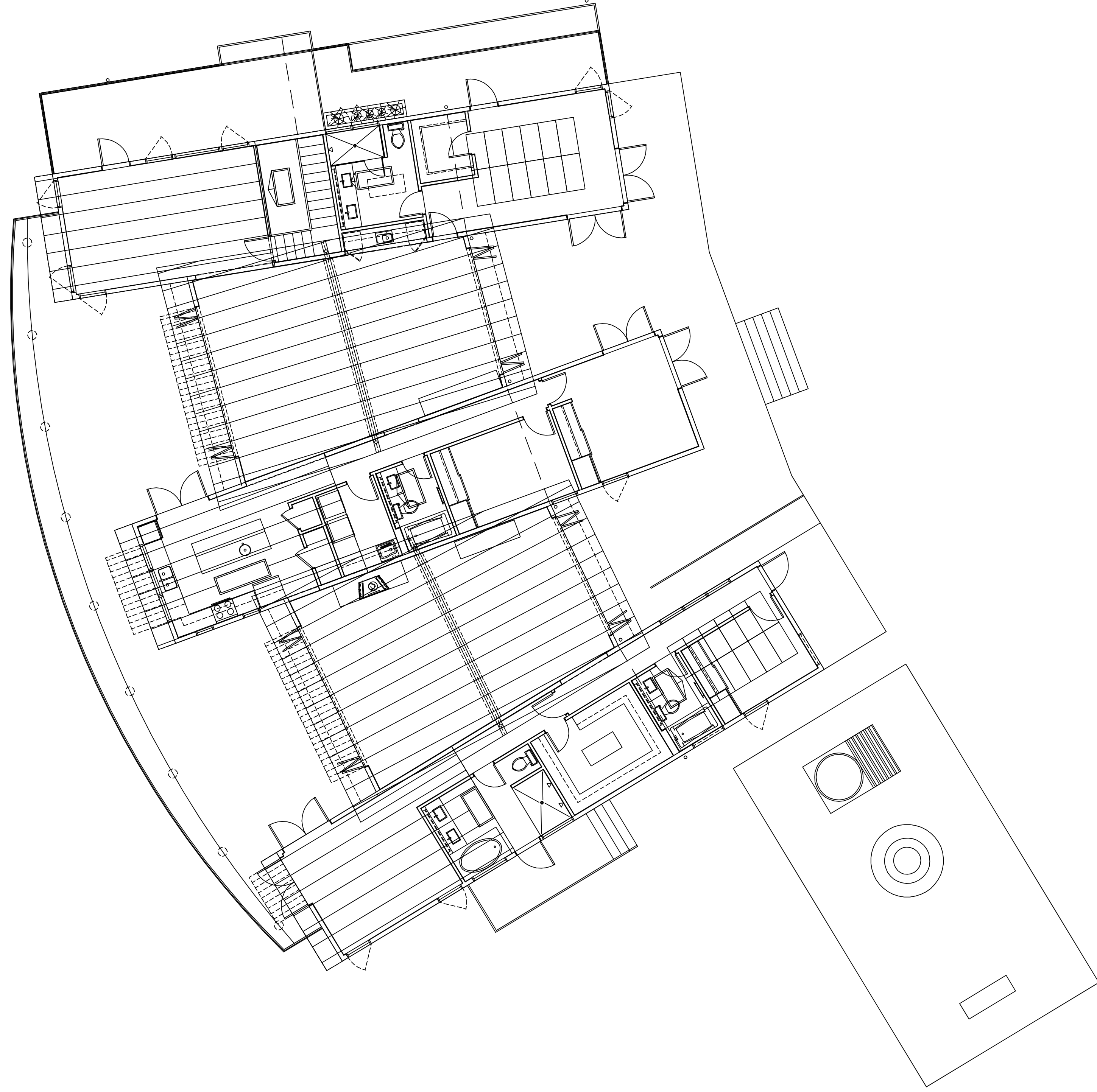
Designer:	MK	SM
Drawn By:		
Date:	07-30-07	
Project No.:	B0622	
Scale:	AS SHOWN	

Sheet: **A.202**
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ROOF PLAN



SCALE: 1/8" = 1'-0"

SCHEMATIC DESIGN

Project: **DUNSTAN/HUSSON** **Sunset** breezehouse™
 4096 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

Title: **ROOF PLAN**

Revisions:	Rev	By	Description	Date

Designer:	MK
Drawn By:	SM
Date:	07-30-07
Project No.:	B0622
Scale:	AS SHOWN

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HIGHEST POINT OF BREEZEROF
+404'-11"

T.O. SLOPED PORTION OF MODULE
+401'-9"

T.O. FLAT PORTION OF MODULE
+399'-2"

16'-2"

13'-0"

10'-5"

SUBFLOOR
+388'-9"

10'-0"

+387.0'

BARBECUE

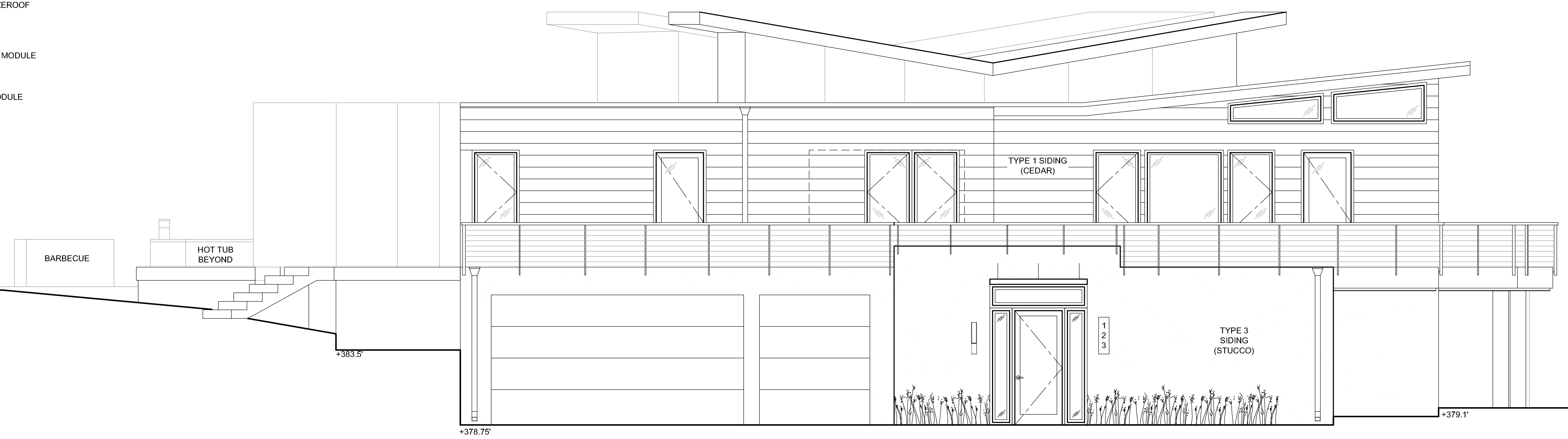
HOT TUB BEYOND

+383.5'

GARAGE SLAB
+378'-9"

+378.75'

+379.1'



NORTH ELEVATION

SCALE: 1/4" = 1'-0" 1

MAX BUILDING HEIGHT 35'-0" ABOVE GRADE

HIGHEST POINT OF BREEZEROF
+404'-11"

T.O. SLOPED PORTION OF MODULE
+401'-9"

T.O. FLAT PORTION OF MODULE
+399'-2"

35'-0"

26'-2"

16'-2"

13'-0"

10'-5"

SUBFLOOR
+388'-9"

LOWEST GRADE
+378'-9"

+379.1'

+381.0'



WEST ELEVATION

SCALE: 1/4" = 1'-0" 2

SCHEMATIC DESIGN

DUNSTAN/HUSSON **Sunset** breeze house™
 4096 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

EXTERIOR ELEVATIONS

Revisions:

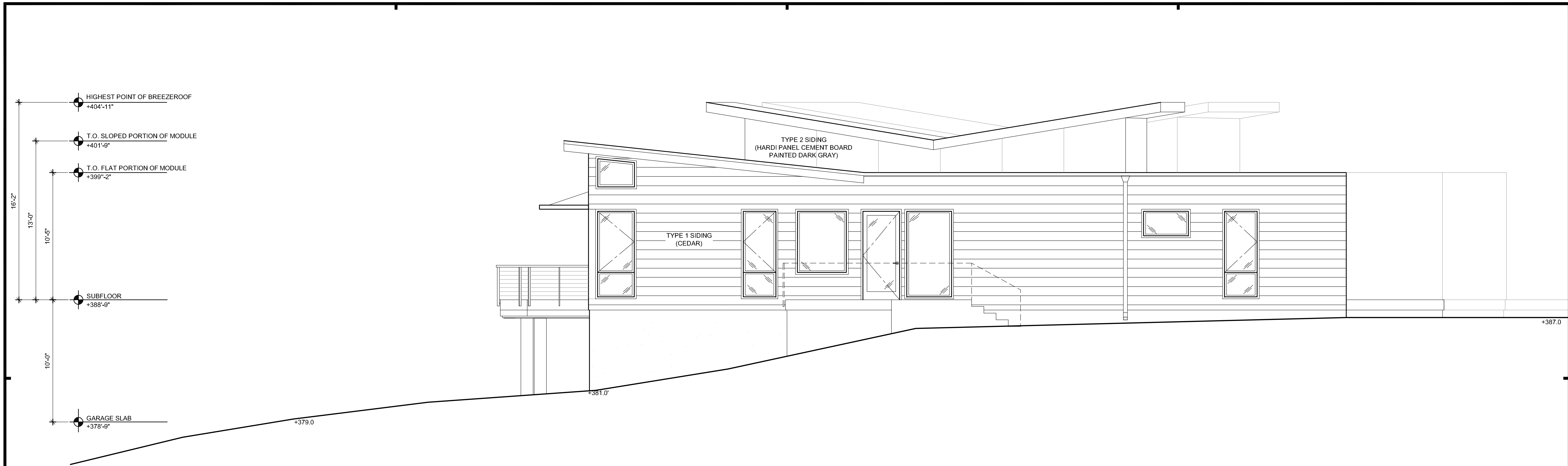
Rev	By	Description	Date

Designer: MK
 Drawn By: SM
 Date: 07-30-07
 Project No.: B0622
 Scale: AS SHOWN

Sheet: **A.301**
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0" 1



EAST ELEVATION

SCALE: 1/4" = 1'-0" 2

SCHEMATIC DESIGN

DUNSTAN/HUSSON **Sunset breeze house**TM
4096 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

EXTERIOR ELEVATIONS

Revisions:

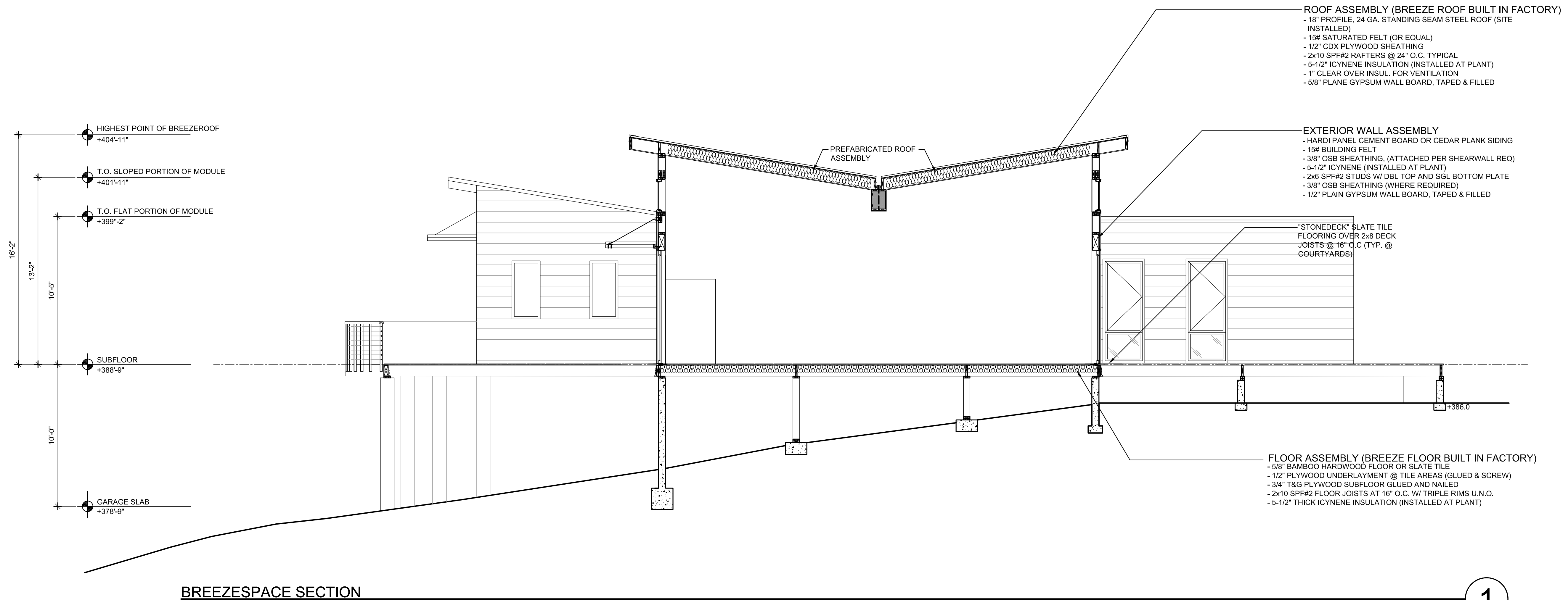
Rev	By	Description	Date

Designer:	MK	SM
Drawn By:		
Date:	07-30-07	
Project No.:	B0622	
Scale:	AS SHOWN	

Sheet: **A.302**
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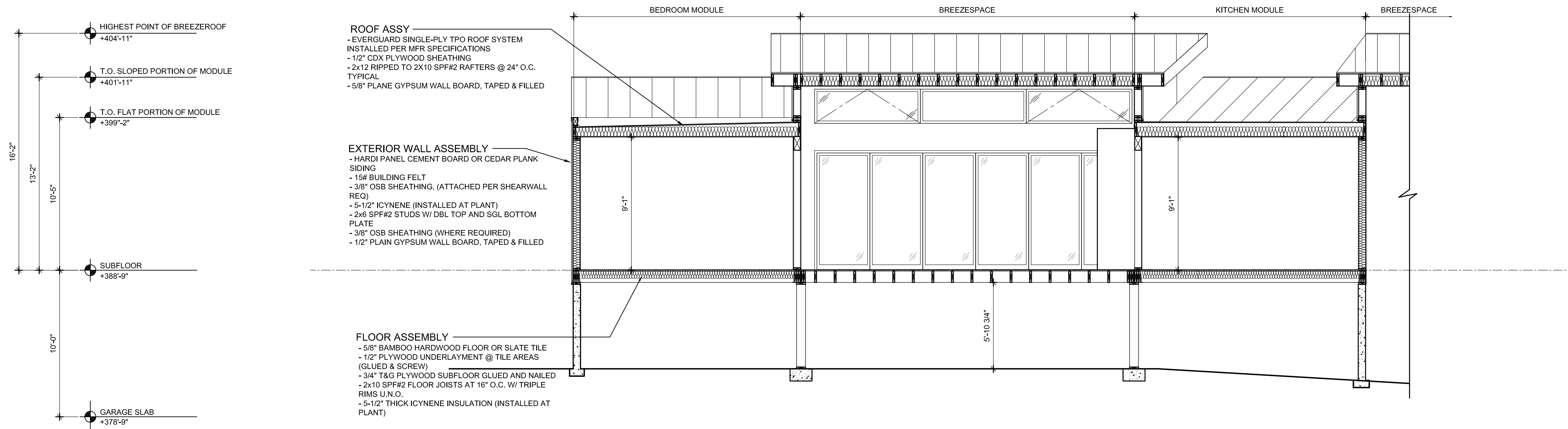
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BREEZESPACE SECTION

SCALE: 1/4" = 1'-0" 1



BREEZESPACE SECTION

SCALE: 1/4" = 1'-0" 2

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SUNSET BREEZEHOUSE™
 Project: **DUNSTAN/HUSSON**
 4036 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030
 Title: **SECTIONS**

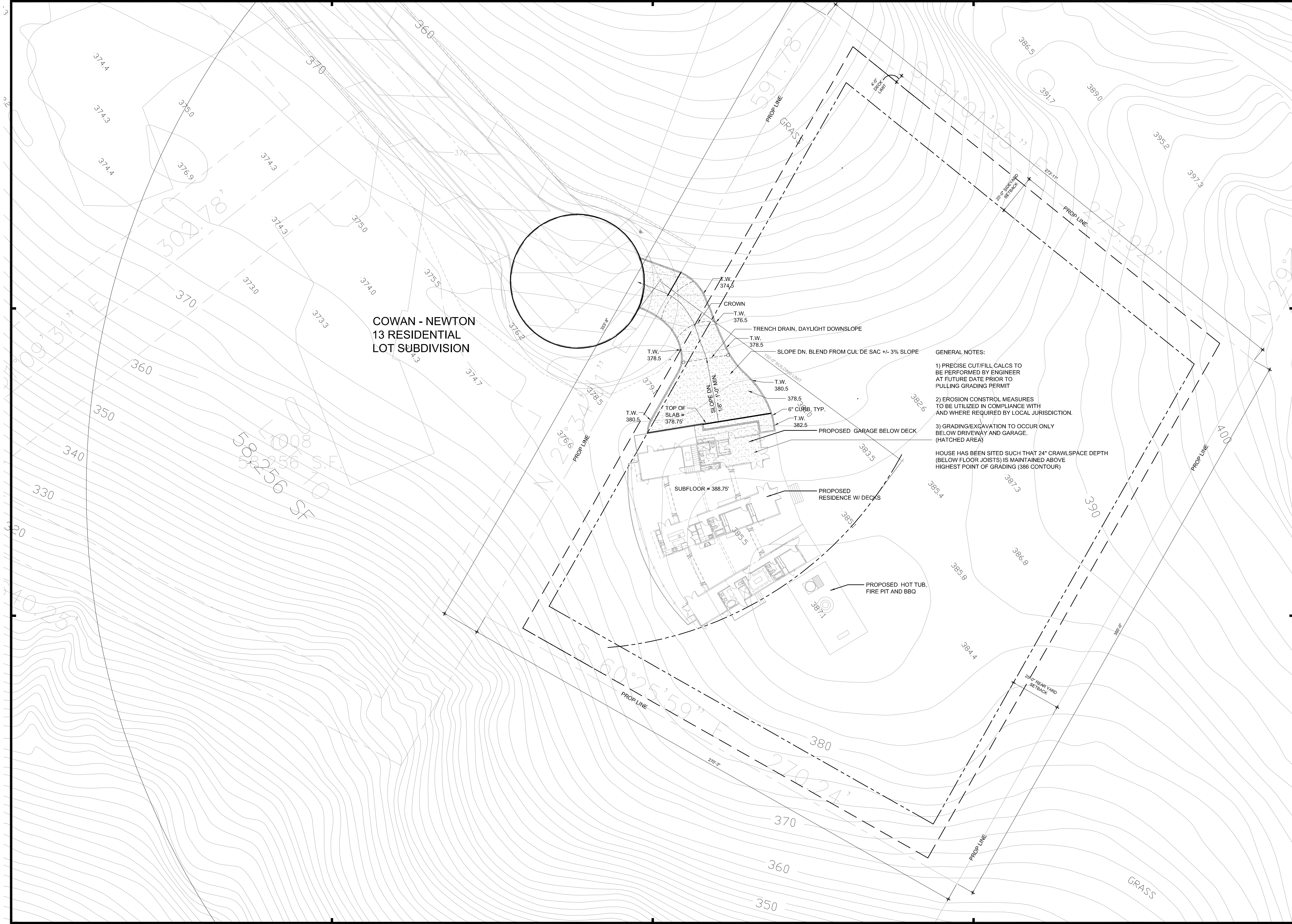
Revisions:

Rev	By	Description	Date

Designer:	MK
Drawn By:	SM
Date:	07-30-07
Project No.:	B0622
Scale:	AS SHOWN

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**COWAN - NEWTON
13 RESIDENTIAL
LOT SUBDIVISION**

GENERAL NOTES:

- 1) PRECISE CUT/FILL CALCS TO BE PERFORMED BY ENGINEER AT FUTURE DATE PRIOR TO PULLING GRADING PERMIT
 - 2) EROSION CONTROL MEASURES TO BE UTILIZED IN COMPLIANCE WITH AND WHERE REQUIRED BY LOCAL JURISDICTION.
 - 3) GRADING/EXCAVATION TO OCCUR ONLY BELOW DRIVEWAY AND GARAGE. (HATCHED AREA)
- HOUSE HAS BEEN SITED SUCH THAT 24" CRAWLSPACE DEPTH (BELOW FLOOR JOISTS) IS MAINTAINED ABOVE HIGHEST POINT OF GRADING (386 CONTOUR)

SCHEMATIC DESIGN

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Project: **DUNSTAN/HUSSON Sunset breeze house™**
4096 FASSLER AVENUE, PACIFICA, CALIFORNIA A.P.N. 022-150-030

Title: **GRADING PLAN**

Revisions:	Rev	By	Description	Date

Designer:	MK	SM
Drawn By:		
Date:	07-30-07	
Project No.:	B0622	
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